



**ZONING ADMINISTRATOR
NOTICE OF DECISION**

Date: February 16, 2021
Applicant: Lennar Homes
Case No.: DR20-0011 'Bluestone at Cota Vera'
Address: Main Street & La Media Parkway (APN 644-070-24-00)
Project Manager: Janice Kluth

Notice is hereby given that on February 16, 2021, the Zoning Administrator considered Design Review (DR) application DR20-0011, filed by Lennar Homes ("Applicant") for the 'Bluestone at Cota Vera' project. The Applicant requests approval of 116 multi-family Row Townhomes, associated parking and open space on an 8.3-acre site (Parcel M). The Project is located on a vacant parcel at the southeast corner of Eastbound Main Street & Avenida Caprise in Otay Ranch Village 8 West ("Cota Vera"), otherwise known as the "Project Site." The Property is owned by HomeFed Village 8, LLC and Otay Land Company, LLC ("Property Owner"). Zoning for the Project Site is Neighborhood Center (NC) per the Village 8 West Sectional Planning Area (SPA) Plan, and the General Plan Land Use Designation is Medium High Residential (MH). The Project includes the construction of twenty (20) two-story buildings in five- and six-plex configurations and is more specifically described as follows:

- The buildings are designed in the Row House building configuration. Each building offers three different townhome options with floor plans ranging from 1319-1758 square feet. The individual units have 3-4 bedrooms and attached rear-facing 2-car garages. Each home offers a private patio area in front of the unit.
- The Architectural styles feature Danish Modern, Rhone Farmhouse Modern, and Bilbao Modern elevations, in keeping with the Contemporary European theme for the village.

The Project has active and passive common open space which includes a central park with a children's play structure, tables and benches, open turf areas and landscape, a dog park, a lookout point, and internal pedestrian pathways with shade trees.

Parking for the residents will be provided in attached 2-car garages and surface parking spaces. Accessible parking and an accessible route are provided, as well. The Project provides 232 garage parking spaces, as well as 32 guest and resident surface parking spaces on-site.

The proposed architecture is inspired by the contemporary European theme for the village. Exterior finishes and materials include stucco, brick veneers and board-and-batten siding (both vertical and horizontal). Parapets, shed roofs and horizontal and vertical siding spandrels add visual interest. Muted colors fit the contemporary theme.

Front yard low-walled patios for homes along Avenida Caprise add connectivity and visual interest for pedestrians and bicyclists along the public street elevation. The central park, visible from

Avenida Caprise, creates a sense of arrival. Homes around the park and other open spaces are oriented to provide a front door presence to the common areas. Enhanced elevations are provided on all sides of buildings visible from streets, lanes, common areas, and other public and common spaces.

The following Project Data Table shows the development regulations along with the Applicant's proposal to meet the requirements:

Assessor's Parcel Number:	644-070-24-00
Current Transect/Zoning:	Town Center (T-3: NC)
General Plan Designation:	Medium High Residential (MH)
Lot Area:	8.3 acres
Density:	14 units per acre*
<u>OPEN SPACE REQUIRED:</u> Private Open Space: 14,720 SF <ul style="list-style-type: none"> Plan 1 – 120 x 36 units = 4,320 Plan 2 – 120 x 40 units = 4,800 Plan 3 – 140 x 40 units = 5,600 Common Usable Open Space: 34,800 SF <ul style="list-style-type: none"> 300 x 116 units = 34,800 	<u>OPEN SPACE PROVIDED:</u> Private decks/patios = 15,240 SF <ul style="list-style-type: none"> Plan 1 – 6,048 Plan 2 – 7,120 Plan 3 – 8,120 Common Usable Open Space: 39,195 SF <ul style="list-style-type: none"> Open Space A – 8,815 Open Space B – 2,935 Open Space C – 2,365 Open Space D – 2,435 Passive Open Space – 22,645
<u>PARKING REQUIRED:</u> <ul style="list-style-type: none"> Plan 1 - 2.25 x 36 = 81 Plan 2 – 2.25 x 40 = 90 Plan 3 – 2.25 x 40 = 90 Total Parking Required = 261 spaces	<u>PARKING PROVIDED:</u> Garages = 232 spaces Parallel/Surface = 2 spaces Standard/Surface = 23 spaces Compact/Surface = 4 Handicap/Surface = 3 Total Parking Provided = 264 spaces

* The SPA Plan's Site Utilization Table shows a Target for Residential Units on Parcel M of 125 units, and the project proposes a total of 116 units. The nine unallocated units may be transferred to another parcel, in accordance with Chapter 9 of the SPA.

The Director of Development Services has reviewed the proposed activity for compliance with the California Environmental Quality Act (CEQA) and has determined that the development was adequately covered in previously certified Final Environmental Impact Report (FEIR 10-03) (SCH #2010062093) for the Otay Ranch Sectional Planning Area (SPA) Plan - Village 8 West. Thus, no further environmental review or documentation is required.

The Zoning Administrator, under the provisions of Section 19.14.582.C of the CVMC, has approved the Project subject to the following findings and conditions:

1. That the proposed development will be consistent with the Village 8 West SPA Plan and the Landscape Master Plan.

The Project is consistent with the Otay Ranch Village 8 West SPA Plan and the Landscape Master Plan, in accordance with Section 9.3.2(A) of the SPA. The Row House building configuration consists of attached units plotted in a row. These homes are oriented to the street or toward parks, paseos or gardens to provide greater open space opportunities. Two-story buildings frame the street edge along Avenida Caprise, with low-walled patios in front and garage parking in the rear. The entrance drive leading into the site and its central park is enhanced with decorative pavers, creating a focal point into the community.

The planting design will be characterized by low water use, low maintenance plantings in compliance with the City of Chula Vista and Village 8 West Landscape Master Plan. Select plant species will be a combination of native and California adaptive species to fit the agrarian theme within the village. Screening and buffering plant species will be incorporated at the perimeter to provide privacy from adjacent streets. Sturdy groundcovers and low-growing shrubs will be used around the perimeter of the residential units and parking areas. Parking stalls will be shaded by evergreen trees where possible. Site amenities will be durable and low maintenance, complementing the architectural style. Amenity spaces are designed to maximize the outdoor living environment for the residents. Trees will be used in amenity spaces to maximize shade.

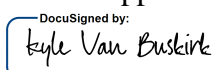
2. The design features of the proposed development are consistent with, and are a cost-effective method of satisfying, the Otay Ranch Village 8 West SPA Plan and the Landscape Master Plan requirements.

The Project's design features are a cost-effective method of satisfying, the Otay Ranch Village 8 West SPA Plan and the Landscape Master Plan requirements. The Project provides 116 housing units on 8.3 acres, for a density of 14 units per acre (within the 11- to 18-unit range for Medium High Residential). The project exceeds the requirements for private and common open space, including private patios for each home; a central park with a children's play structure, tables and benches, open turf areas and landscape; a dog park; a lookout point, and internal pedestrian pathways with shade trees. Water efficient plants and a water-efficient irrigation system will be established to reduce the overall maintenance cost of the Project.


I. The following shall be accomplished to the satisfaction of the Director of Development Services, prior to issuance of building permits, unless otherwise specified:

Development Services Department:

1. Prior to approval by the City of Chula Vista for the use of the subject property in reliance on this approval, the Applicant/Representative and Property Owner shall execute this document by making a true copy of this letter of approval and signing both this original Notice of Decision and the copy on the lines provided below, said execution indicating that the Applicant/Representative and Property Owner have each read, understood and agreed to the conditions contained herein, and will implement same. Upon execution, the true copy with original signatures shall be returned to the Development Services Department. Failure to return the signed true copy of this document within 30 Days of the effective date herein shall indicate the Applicant/Representative and Property Owner's desire that the Project, and corresponding application for building/grading permits and/or business license, be held in abeyance without approval.

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Signature of Applicant/Authorized Representative	Date
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Signature of Property Owner/representative	Date
kyle van Buskirk	

Print Name

2. Prior to, or in conjunction with the issuance of the first building permit, the Applicant shall pay all applicable fees, including any unpaid balances of application processing fees for deposit account DDA0708.
3. The colors and materials specified on the building plans shall be consistent with the colors and materials shown on the site plan and elevations approved by the Zoning Administrator on (February 16, 2021).
4. The Project shall conform to CVMC Section 9.20.055 regarding graffiti control. The Applicant shall remove all graffiti or cover the defaced area by paint which is similar in shade and color to the surface the graffiti resides on, whether that is real or personal property, or City right-of-way, within 48 hours. The Applicant shall place a note to this effect on the building permit plans.
5. All roof appurtenances, including but not limited to air conditioning units and mechanical equipment, shall be shielded and architecturally screened from view of on-site parking areas and adjacent public streets and/or public areas (SPA Plan, Page 3-78).
6. All ground mounted utility appurtenances such as transformers, AC condensers, etc., shall be located out of public view and adequately screened by a combination of concrete or masonry walls, berming, and/or landscaping to the satisfaction of the Director of Development Services.

7. The Applicant shall obtain approval of a sign permit for each sign by the Development Services Department. Signs shall comply with all applicable requirements of the Municipal Code.
8. The Applicant shall ensure that the Project operates in compliance with the Performance Standards, CVMC Chapter 19.66 and Performance Standards and Noise Control, Chapter 19.68.
9. A conditional use permit shall be obtained for the temporary sales and model homes complex prior to issuance of the first building permit.

Land Development Division:

10. The Applicant shall comply with all requirements and guidelines of the City of Chula Vista Municipal Code; the Chula Vista Subdivision Manual; City of Chula Vista Design and Construction Standards; the Development Storm Water Manual for Development & Redevelopment Projects, The Chula Vista BMP Design Manual; the City of Chula Vista Grading Ordinance No. 1797; and the State of California Subdivision Map Act.
11. The Applicant shall comply with all applicable conditions of approval for Tentative Map No. CVT 19-03.
12. The public infrastructure that will serve the project site shall be bonded per the Subdivision Manual, before issuance of the first building permit. This includes all streets and utilities fronting the project site. Furthermore, this public infrastructure shall be constructed and fully operational before the issuance of the first Certificate of Occupancy, all to the satisfaction of the Director of the Development Services Department.
13. Prior to issuance of grading, construction, and building permits the Applicant shall document on applicable plans compliance with the requirements pertaining to Best Management Practices (BMPs). The Applicant shall develop and implement post construction Best Management Practices (BMPs) in accordance with the most recent regulations at the time of grading and building permit issuance.
14. Before the issuance of the building permit, the Applicant shall pay the following Engineering Fees (fees are adjusted on October 1st of every year):
 - a. Sewer Capacity Fee
 - b. Traffic Signal Fee
 - c. Sewer Basin DIF
 - d. Other Engineering Fees and deposits in accordance with the City Subdivision Manual, and Master Fee Schedule will be required for the submittal of Grading Plans, Improvement Plans, and/or Private Site Development Plans.
15. On-site drainage and sewer systems shall be private.

16. The Applicant shall obtain a Construction Permit for private utility connections to the public mains prior to building permit issuance. This may be accommodated by either processing a construction change to the Master Developer's Improvement Plans or by applying for a separate construction permit.
17. The Applicant shall obtain a Construction Permit to construct the private driveways and associated signage and striping in the City's right-of-way, prior to issuance of any Building Permit. This may be accommodated by processing a construction change to the Master Developer's Improvement Plans.
18. The Applicant shall provide the City with proof of Pad Certification prior to issuance of any building permit within the Project.
19. Separate permits for other public utilities (gas, electric, water, cable, telephone) shall be required, as necessary.
20. The Applicant shall agree to not protest formation or inclusion in a maintenance district or zone for the maintenance of landscape medians, scenic corridors along streets and public parks, within or adjacent to the subject subdivision.

Landscape Architecture Division:

21. The Applicant shall submit landscape and irrigation (L&I) plans in accordance with the City's Landscape Water Conservation Ordinance (LWCO) (CVMC 20.12).
22. Prior to the second submittal of the building permit set, applicant shall submit for review and approval three (3) sets of complete landscape improvement plans along with digital copies (PDF) in conformance with the City of Chula Vista Landscape Water Conservation Ordinance (LWCO), Chapter 20.12 of the Municipal Code and the Landscape Manual. The landscape plans shall be a standalone set and the title sheet of the drawings shall include both the 'Water Conservation Ordinance' and the 'Declaration of Responsible Charge' statements, dated and signed.
23. Prior to approval of landscape improvement plans, trees and pole lights shall maintain a minimum distance of 10' horizontal clearance.
24. Prior to the approval of the Landscape Improvement plans, Applicant shall provide documentation which ensures private lot interior slopes as shown on the approved Design Review Landscape Plan as being Master HOA-maintained, will remain that way in perpetuity.

Fire Department:

25. The Applicant shall apply for required building permits and comply with applicable codes and requirements, including but not limited to: the current California edition of Building Code (CBC), Fire Code (CFC), and Mechanical Code.

II. The following on-going conditions shall apply to the Project as long as it relies upon this approval.

26. The Applicant shall maintain the Project in accordance with the approved plans for DR20-0011, which include site plan and architectural elevations on file in the Development Planning Division, the conditions contained herein, and Title 19.
27. Approval of this request shall not waive compliance with all sections of Title 19 of the Municipal Code, and all other applicable City Ordinances in effect at the time of building permit issuance.
28. The Applicant/Representative and Property Owner shall and does hereby agree to indemnify, protect, defend and hold harmless City, its City Council members, officers, employees and representatives, from and against any and all liabilities, losses, damages, demands, claims and costs, including court costs and attorney's fees (collectively, liabilities) incurred by the City arising, directly or indirectly, from (a) City's approval and issuance of this Design Review approval, (b) City's approval or issuance of any other permit or action, whether discretionary or non-discretionary, in connection with the use contemplated herein, and Applicant/operator shall acknowledge their agreement to this provision by executing a copy of this Design Review approval where indicated below. The Applicant/Representative and Property Owner's compliance with this provision is an express condition of this permit and shall be binding on any, and all of Applicant/Operator's successors and assigns.
29. This Design Review approval shall become void and ineffective if not utilized within thirty-six (36) months from the effective date thereof, in accordance with Section 19.14.600 of the Municipal Code, unless an extension application is submitted within 30-days of the expiration date of (February 16, 2024).

APPROVED BY ZONING ADMINISTRATOR OF THE CITY OF CHULA VISTA,
CALIFORNIA, this 16th day of February 2021.



Scott D. Donaghe
Zoning Administrator